

Your Inspection Report

1371 Elderberry Circle
Coeur d'Alene, ID 83815

PREPARED FOR:
GARY & CHERYL NORTON

INSPECTION DATE:
Monday, April 30, 2018

PREPARED BY:
Dan Chapleski



True North Inspection Services
212 W Ironwood Drive, Suite D-123
Coeur d'Alene, ID 83814

208.505.1050

www.truenorthinspections.com
Office@TrueNorthInspections.com



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July 12, 2019

Dear Gary & Cheryl Norton,

RE: Report No. 1219
1371 Elderberry Circle
Coeur d'Alene, ID
83815

Thank you very much for choosing us to perform your home inspection. We are grateful to have the opportunity to be of service to you.

To get the most out of your inspection report, there are a few things we would like to point out to you. First, we have placed tabs along the top of the report for you to easily navigate directly to any section. The first tab is the Summary tab where we provide you with a convenient place to view the more significant issues we discovered. Under each of the remaining tabs we have placed items in three categories: Description, Observations & Recommendations, and Inspection Methods & Limitations. In the Description category, we identify the characteristics and features of the home. In Observations & Recommendations, we detail issues we have identified with the house. In Inspection Methods & Limitations we note some limitations we may have had with respect to access or viewing of certain items.

At the back of the report we have provided you with a complete reference library that will help you understand your home and how it works. The links on this page offer you over 400 pages of valuable information about your home.

Overall, we aim to provide you with a thorough inspection, an inspection report that is clear and easy to read, and valuable information that will make the ownership of your home more enjoyable.

Again, thank you very much for choosing us to perform your home inspection. We hope you find our service highly valuable, and we wish you all the best with your new home.

Sincerely,

Dan Chapleski
on behalf of
True North Inspection Services

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INVOICE

July 12, 2019

Client: Gary & Cheryl Norton

Report No. 1219

For inspection at:

1371 Elderberry Circle

Coeur d'Alene, ID

83815

on: Monday, April 30, 2018

Home inspection: 1,000 - 1,500 SF

\$350.00

Radon test

\$135.00

Total

\$485.00

PAID IN FULL - THANK YOU!

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SUMMARY

1371 Elderberry Circle, Coeur d'Alene, ID April 30, 2018

Report No. 1219

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

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REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Structure

FLOORS \ Joists

Condition: • [Poor end bearing, joist hanger connections](#)

Two joist hangers missing

Implication(s): Weakened structure | Chance of structural movement

Location: Crawl space beneath hall bathroom toilet

Task: Install joist hangers

Time: Immediate

FLOORS \ Sheathing/Subflooring

Condition: • Wood rot / moisture damage

Implication(s): Chance of movement. Structural failure.

Location: Crawl space beneath hall bathroom toilet

Task: Remove and replace

Time: Immediate

ROOF FRAMING \ Sheathing

Condition: • Possible mold/mildew

Implication(s): Air quality / health hazard

Location: North side of attic, especially at northwest corner and at lower edges of north roof

Task: Further evaluation by qualified mold remediation specialist

Time: Immediate

Electrical

DISTRIBUTION SYSTEM \ Aluminum wiring

Condition: • [Anti-oxidant compound - missing](#)

Implication(s): Fire hazard

Location: Range breaker

Task: Apply anti-oxidant paste

Time: Immediate

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Cooling & Heat Pump

AIR CONDITIONING \ Compressor

Condition: • [Wrong fuse or breaker size](#)

AC label indicates max 25-amp fuse/breaker. 30-amp fuses are installed.

Implication(s): Equipment overheating | Damage to equipment | System inoperative or difficult to operate

Location: AC disconnect at east exterior

Task: Replace fuses

Time: Prior to use

This concludes the Summary section.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists. We advise further evaluation by specialists in various fields prior to finalizing your transaction on this property.

[Home Improvement - ballpark costs](#)

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Descriptions

The home is considered to face : • South

Sloped roofing material:

- [Asphalt shingles](#)



Asphalt shingles



Asphalt shingles

Approximate age: • 16 years

Typical life expectancy: • 20 years

Observations & Recommendations

SLOPED ROOFING \ Asphalt shingles

1. **Condition:** • [Granule loss](#)

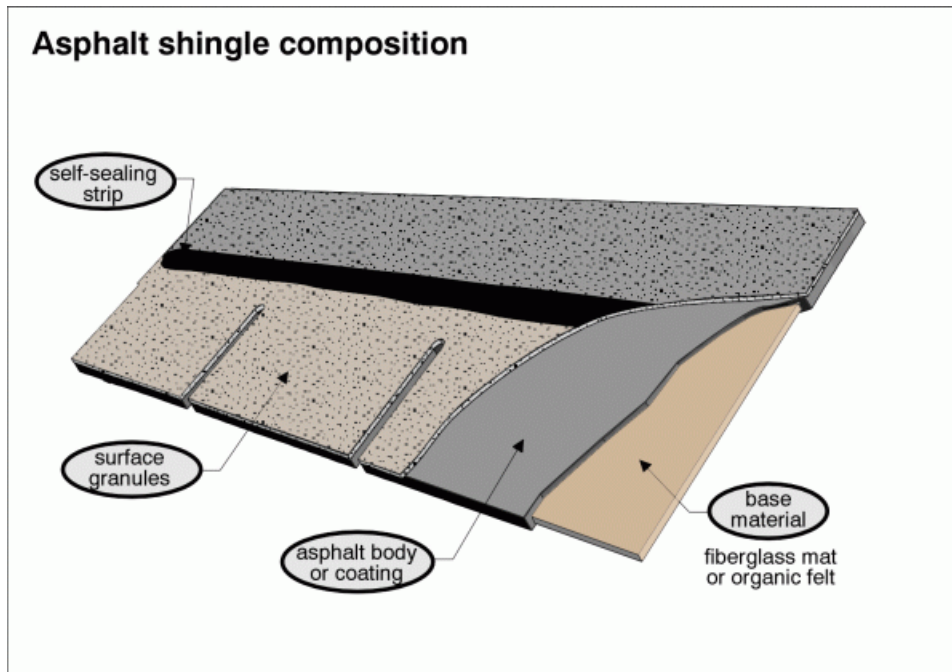
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various ridge shingles

Task: Replace

Time: When necessary

Asphalt shingle composition



Granule loss



Granule loss on ridge

2. Condition: • [Damage](#)

Coverage appears in tact due to layering of the shingles.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various

Task: Repair

Time: When necessary

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Damage



Damage



Damage



Damage

3. Condition: • [Missing, loose or torn](#)

Coverage appears in tact due to layering of the shingles.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Two locations

Task: Repair

Time: Less than 1 year

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Missing shingle tab



Torn shingle

SLOPED ROOF FLASHINGS \ Pipe/stack flashings

4. Condition: • [Damage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: North end or roof

Task: Repair

Time: Less than 1 year



Damaged pipe/stack flashing

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Inspection Methods & Limitations

Inspection performed: • By walking on roof

Age determined by: • Year of construction

EXTERIOR

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Descriptions

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Metal](#) • [Vinyl](#)

Wall surfaces and trim: • [Vinyl siding](#)

Driveway: • Concrete

Walkway: • Concrete

Porch: • Concrete

Patio: • Concrete

Observations & Recommendations

ROOF DRAINAGE \ Downspouts

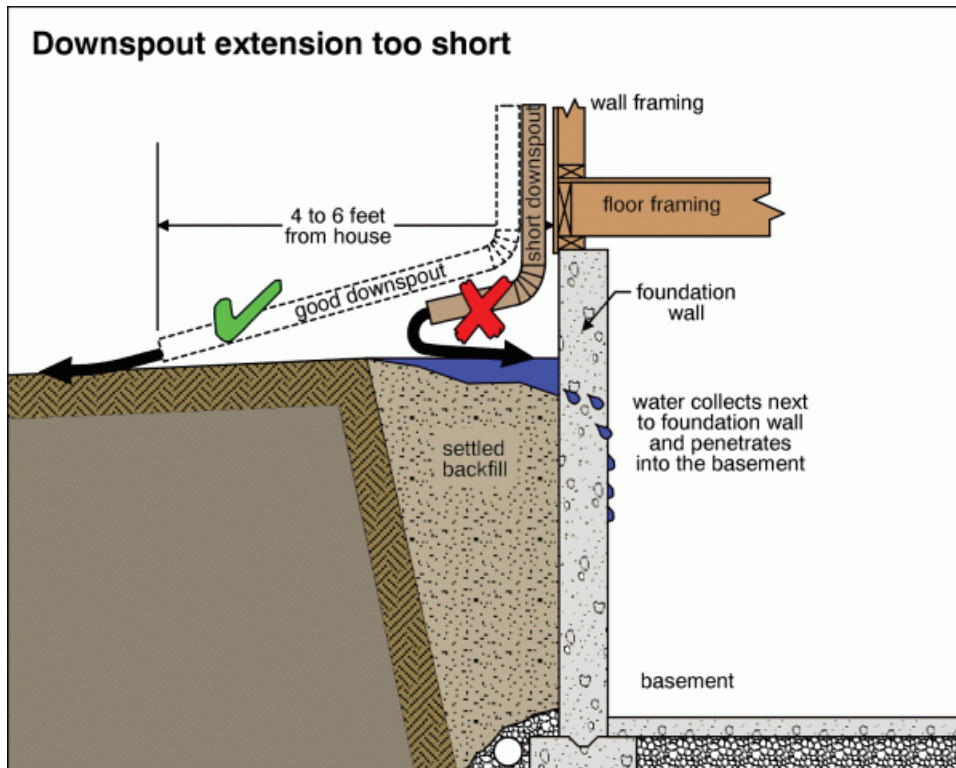
5. Condition: • [Discharge too close to building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Extend downspouts

Time: Less than 1 year



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Discharge too close to building



Discharge too close to building

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

6. Condition: • [Damage](#)

Hooks screwed into fascia have damaged metal trim on fascia

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: South side of house

Task: Remove hooks; apply sealant on holes

Time: Less than 1 year



Hooks and holes in fascia



Hooks and holes in fascia

7. Condition: • [Loose or missing pieces](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering building

Location: Front porch

Task: Secure

Time: Less than 1 year

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Loose soffit trim

WALLS \ Trim

8. Condition: • Mechanical damage

Location: Various corners

Task: Repair

Time: Discretionary



Mechanical damage



Mechanical damage

9. Condition: • Vent covers are missing for all 12 vents. Each vent should have three louvers that can be opened and closed.

Location: Throughout

Task: Provide covers

Time: Prior to freezing temperatures

EXTERIOR

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Missing vent covers



Missing vent covers

10. Condition: • Vent screens damaged

Implication(s): Unwanted entry of pests

Location: Various - 3 screens

Task: Repair or replace

Time: Less than 1 year



Vent screens damaged



Vent screens damaged

WALLS \ Vinyl siding

11. Condition: • [Mechanical damage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Bottom of walls in various locations

Task: Repair

Time: Discretionary

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Mechanical damage



Mechanical damage

12. Condition: • [Discolored](#)

Location: South and west exterior walls

Task: Treat/clean

Time: Discretionary



Discolored



Discolored

DOORS \ Exterior trim

13. Condition: • Moisture damage

Implication(s): Chance of water damage to contents, finishes and/or structure.

Location: Garage man door at east exterior

Task: Dry trim and re-paint

Time: Less than 1 year

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Moisture damage



Moisture damage

14. Condition: • [Paint or stain needed](#)

Implication(s): Chance of damage to finishes and structure | Material deterioration

Location: Above garage door

Task: Re-paint

Time: Less than 1 year



Paint needed

LANDSCAPING \ General

15. Condition: • [Trees or shrubs too close to building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering building | Material deterioration

Location: South

Task: Trim

Time: Regular maintenance

EXTERIOR

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Shrubs too close to building

LANDSCAPING \ Lot grading

16. Condition: • [Improper slope or drainage](#)

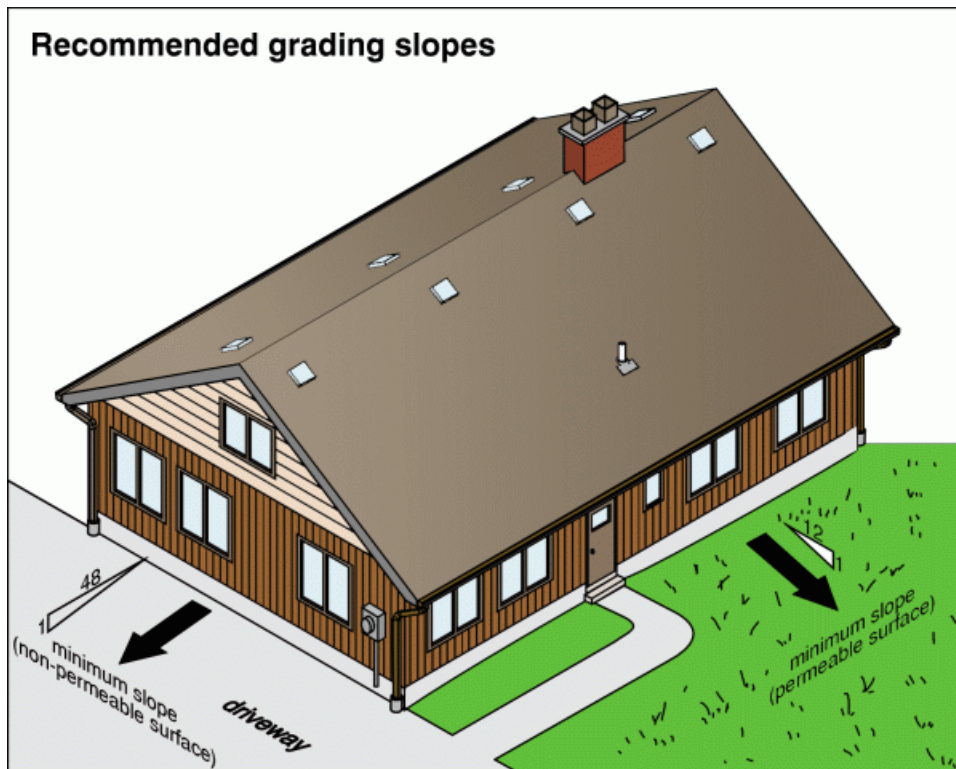
Appears an animal has dug adjacent to the foundation

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: North

Task: Correct

Time: Less than 1 year



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Improper slope or drainage



Improper slope or drainage

LANDSCAPING \ Walkway

17. Condition: • [Cracked or damaged surfaces](#)

Task: Monitor

Time: Ongoing



Cracked or damaged surfaces



Cracked or damaged surfaces

LANDSCAPING \ Driveway

18. Condition: • [Cracked or damaged surfaces](#)

Task: Monitor

Time: Ongoing

EXTERIOR

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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Cracked or damaged surfaces



Cracked or damaged surfaces

Descriptions

Configuration:

- [Crawlspace](#)



Crawlspace



Crawlspace

Foundation material: • [Poured concrete](#)

Floor construction: • [Wood I-joists](#)

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing:

- [Trusses](#)



Trusses

- [Oriented Strand Board \(OSB\) sheathing](#)

STRUCTURE

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Oriented Strand Board (OSB) sheathing

Observations & Recommendations

FLOORS \ Joists

19. Condition: • [Poor end bearing, joist hanger connections](#)

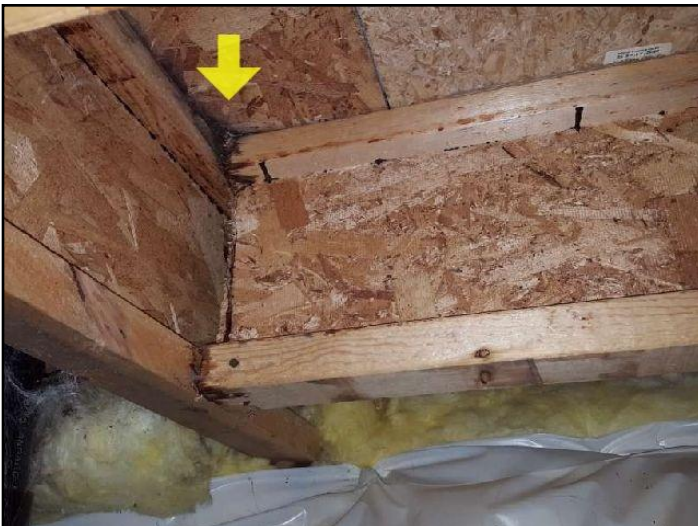
Two joist hangers missing

Implication(s): Weakened structure | Chance of structural movement

Location: Crawl space beneath hall bathroom toilet

Task: Install joist hangers

Time: Immediate



Missing joist hanger



Missing joist hangers

FLOORS \ Sheathing/Subflooring

20. Condition: • Wood rot / moisture damage

Implication(s): Chance of movement. Structural failure.

STRUCTURE

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Location: Crawl space beneath hall bathroom toilet

Task: Remove and replace

Time: Immediate



Wood rot / moisture damage

ROOF FRAMING \ Sheathing

21. Condition: • Possible mold/mildew

Implication(s): Air quality / health hazard

Location: North side of attic, especially at northwest corner and at lower edges of north roof

Task: Further evaluation by qualified mold remediation specialist

Time: Immediate



Possible mold/mildew Possible mold/mildew



Possible mold/mildew

STRUCTURE

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Possible mold/mildew



Possible mold/mildew

Inspection Methods & Limitations

Attic/roof space: • Entered but access was limited

Descriptions

Service entrance cable and location: • [Underground aluminum](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating:

• [200 Amps](#)



Main electric disconnect

Main disconnect/service box type and location:

• [Breakers - garage](#)



Breakers - garage

System grounding material and type: • [Copper - ground rods](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#) • [Aluminum - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#) • [GFCI - exterior](#) • [GFCI - garage](#) • [GFCI - kitchen](#) • [AFCI - panel](#)

Smoke alarms (detectors): • [Present](#)

Carbon monoxide (CO) alarms (detectors): • None noted

Observations & Recommendations

DISTRIBUTION SYSTEM \ Aluminum wiring

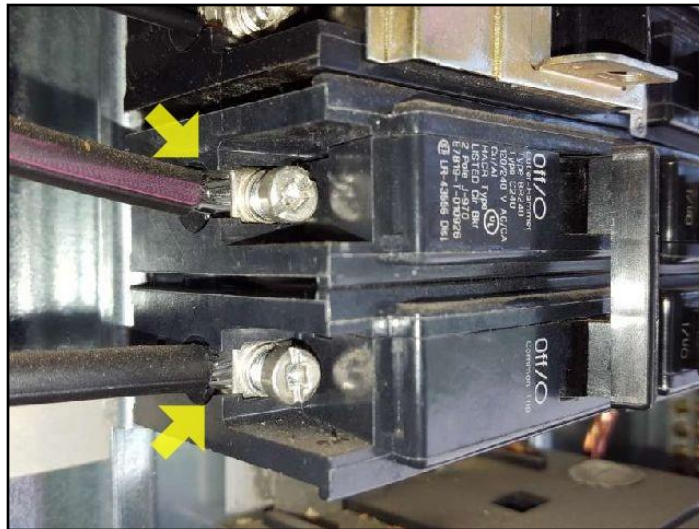
22. Condition: • [Anti-oxidant compound - missing](#)

Implication(s): Fire hazard

Location: Range breaker

Task: Apply anti-oxidant paste

Time: Immediate



Anti-oxidant compound - missing

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

23. Condition: • None

Implication(s): Health hazard

Task: Provide

Time: Discretionary

Descriptions

System type:

- [Furnace](#)



Furnace

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [50,000 BTU/hr](#)

Efficiency: • [Conventional](#)

Exhaust venting method: • [Induced draft](#)

Approximate age: • [17 years](#)

Typical life expectancy: • Furnace (conventional or mid-efficiency) 18 to 25 years

Exhaust pipe (vent connector): • Type B

Observations & Recommendations

General

24. • All heating work should be completed by a licensed HVAC contractor.

GAS FURNACE \ General

25. **Condition:** • Service Furnace

Task: Service annually

Time: Regular maintenance

HEATING

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GAS FURNACE \ Mechanical air filter

26. Condition: • 16 x 20 x 1-inch filter

Heavily soiled filter

Implication(s): Increased heating and cooling costs. Reduced comfort. Increased wear on equipment.

Location: Air return in hall ceiling

Task: Replace

Time: Immediate & regular maintenance



Filter location

Inspection Methods & Limitations

Heat exchanger: • Not accessible

Descriptions

Air conditioning type: • Central air conditioner



Central air conditioner

Cooling capacity: • [2.5 Tons](#)

Compressor type: • Electric

Compressor approximate age: • 5 years

Typical life expectancy: • 12 to 15 years

Temperature difference: • 10° • Acceptable temperature difference: 14° to 22° • This suggests performance issues. Service may be needed.

Observations & Recommendations

General

27. • All cooling work should be completed by a licensed HVAC contractor.

AIR CONDITIONING \ General

28. **Condition:** • Service air conditioner

Temperature differential is less than expected. While this may be the result of the excessively soiled air filter, there may be other issues.

Implication(s): Reduced system life expectancy | Increased cooling costs | Reduced comfort

Task: Service now and annually

Time: Regular maintenance

AIR CONDITIONING \ Compressor

29. **Condition:** • [Wrong fuse or breaker size](#)

AC label indicates max 25-amp fuse/breaker. 30-amp fuses are installed.

Implication(s): Equipment overheating | Damage to equipment | System inoperative or difficult to operate

COOLING & HEAT PUMP

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Location: AC disconnect at east exterior

Task: Replace fuses

Time: Prior to use



30-amp fuses installed

Unit - 208-230 V	1 PH	60 HZ														
Compressor - 208-230 V	1 PH	60 HZ	10.6 RLA	54 LRA												
Cooling Fan - 208-230 V	1 PH	60 HZ	1.4 FLA	1/4 HP												
Minimum Circuit Ampacity -	14.7															
Max Fuse Or Max CircuitBreaker (HACR Type per NEC) -	25															
Note - This charging chart applies to units with orifice metered indoor coils. If installation is using TXV metered indoor coil - the charge must be weighed in. An approximate, nominal, Sub Cooling Value would be: 10 - 11 degrees F.																
R-410A																
Charging Chart																
	Evaporator Suction Pressure - PSIG															
Outdoor Ambient	117	120	123	126	129	132	135	138	141	144	147	150	153	156	159	162

Label indicates max 25-amp fuse

AIR CONDITIONING \ Evaporator coil

30. Condition: • [Temperature split too low](#)

Implication(s): Equipment not operating properly | Increased cooling costs | Reduced comfort

Task: Service

Time: Less than 1 year

Descriptions

Attic/roof insulation material:

- [Glass fiber](#)



Glass fiber

Attic/roof ventilation: • [Roof and soffit vents](#)

Wall insulation material: • [Glass fiber](#)

Foundation wall insulation material: • [Glass fiber](#)

Crawlspace ventilation: • [Wall Vents](#)

Observations & Recommendations

ATTIC/ROOF \ Insulation

31. Condition: • [Compressed](#)

Foot traffic has compressed insulation

Implication(s): Increased heating and cooling costs | Reduced comfort

Location: Various

Task: Improve

Time: Discretionary

INSULATION AND VENTILATION

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Foot traffic has compressed insulation

Inspection Methods & Limitations

Attic inspection performed: • By entering attic, but access was limited

Descriptions

Service piping into building: • [Plastic](#)

Supply piping in building: • PEX (cross-linked Polyethylene)

Main water shut off valve at the:

- Crawlspace
- Southwest corner of crawlspace



Main water shut-off valve

Water heater type: • [Gas water heater](#)



Gas water heater

PLUMBING

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Water heater location: • Garage

Water heater exhaust venting method: • Natural draft

Water heater tank capacity: • 50 gallons

Water heater approximate age: • 16 years

Water heater typical life expectancy: • 15 to 20 years

Waste and vent piping in building: • [ABS plastic](#)

Gas piping: • Steel

Main fuel shut off valve at the:

• Gas meter



Main gas shut-off valve

Exterior hose bibb (outdoor faucet): • Freeze resistant

Observations & Recommendations

WATER HEATER \ Water heater

32. Condition: • [Water temperature is above the desired 115 - 125 degree range.](#)
140 degrees

Implication(s): Scalding. Shortened life expectancy of water heater.

Task: Adjust thermostat

Time: Immediate



Adjust thermostat

WATER HEATER \ Tank

33. Condition: • [Noisy](#)

Implication(s): Reduced system life expectancy | Equipment not operating properly

Task: Flush tank

Time: Less than 1 year

WATER HEATER \ Temperature/pressure relief valve

34. Condition: • Present

FIXTURES AND FAUCETS \ Faucet

35. Condition: • Tub faucet bent downward and separated from shower wall

Implication(s): Chance of water damage to contents, finishes and/or structure.

Location: Master Bathroom

Task: Improve

Time: Less than 1 year



Faucet bent and separated

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

36. Condition: • Drain stop missing

Implication(s): Reduced operability

Location: Hallway Bathroom

Task: Improve

Time: Less than 1 year



Drain stop missing

FIXTURES AND FAUCETS \ Toilet

37. Condition: • [Loose](#)

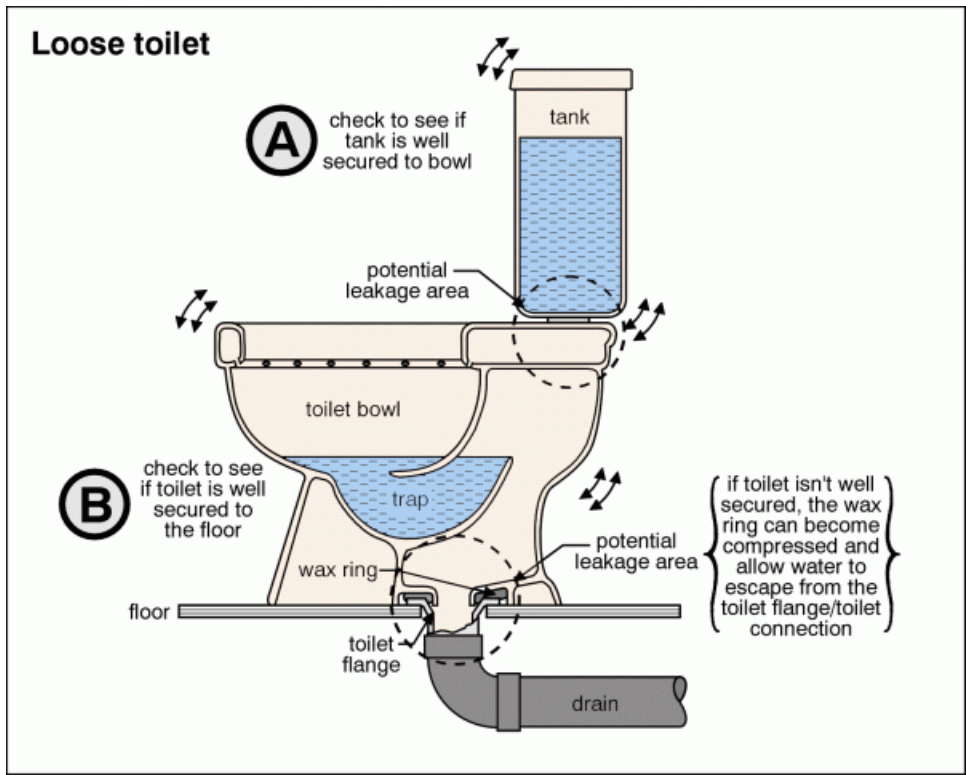
Toilets are loose at the floor

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the building

Location: Both bathrooms

Task: Correct

Time: Immediate



Inspection Methods & Limitations

Items excluded from a building inspection: • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains • Landscape irrigation system

INTERIOR

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Descriptions

Major floor finishes: • [Carpet](#) • [Resilient](#)

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Windows: • Vinyl

Glazing: • [Double](#)

Oven fuel: • Electricity

Range fuel: • Electricity

Laundry facilities: • Dryer vent hookup. Confirm the dryer vents to the exterior once a dryer is installed.

Laundry facilities: • Hot/cold water supply • 120-Volt outlet • 240-Volt outlet • Waste standpipe

Kitchen ventilation:

• Recirculating type

Combination microwave / vent hood

Bathroom ventilation: • Exhaust fan

Observations & Recommendations

FLOORS \ Carpet on floors

38. Condition: • Torn, damaged carpet. Severely stained carpet.

Location: Throughout

Task: Replace

Time: Discretionary

INTERIOR

1371 Elderberry Circle, Coeur d'Alene, ID April 30, 2018

Report No. 1219

www.truenorthinspections.com

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Torn carpet



Stained carpet

CARPENTRY \ Cabinets

39. Condition: • [Stiff or inoperative drawers](#)

Broken drawer hardware

Implication(s): System inoperative or difficult to operate

Location: Bottom drawer at northwest corner of kitchen

Task: Repair

Time: Discretionary



Broken drawer hardware



Broken drawer hardware

GARAGE \ Vehicle doors

40. Condition: • Bracket attachment damaged

Implication(s): Chance of additional damage. Reduced operability.

Task: Repair

Time: Less than 1 year



Bracket attachment damaged

GARAGE \ Vehicle door operators

41. Condition: • [Fails to auto reverse](#)

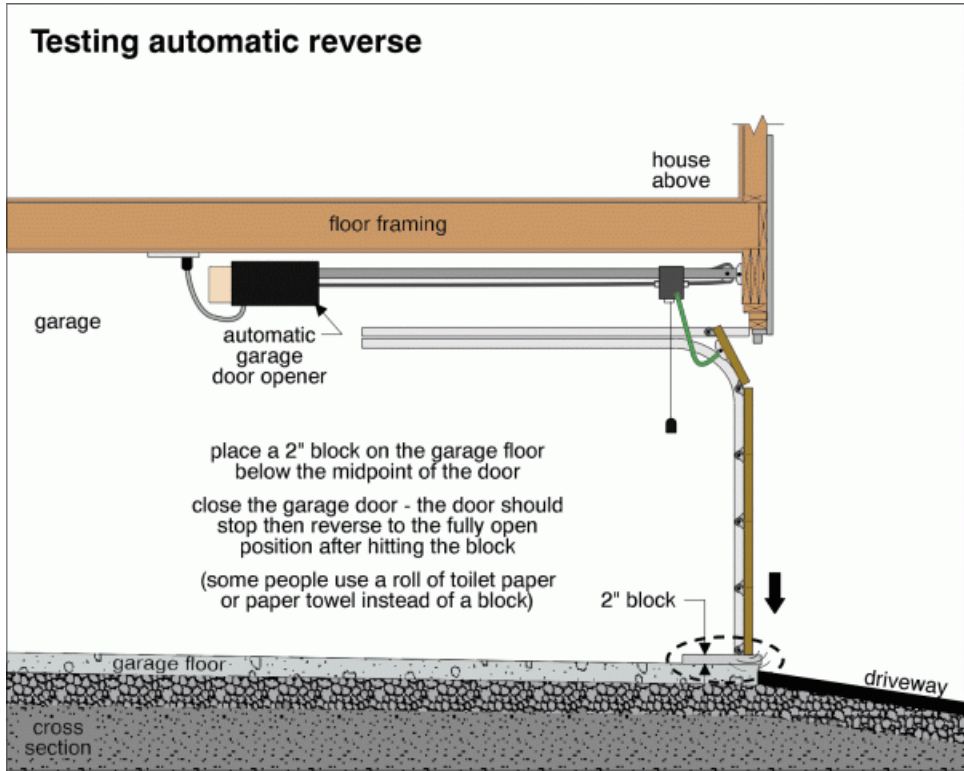
Fails to auto reverse when closing on a 2-inch block. Photoelectric eye safety function is operational.

Implication(s): Physical injury

Location: Overhead door

Task: Adjust opener

Time: Less than 1 year



Fails to auto reverse

END OF REPORT

REFERENCE LIBRARY

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS